

Deck and Porch Requirements

A building permit is required for all decks and porches. Deck and porch design and specifications must meet the requirements of the 2015 International Residential Code, as well as applicable sections of The City of Marengo Building Codes.

Permit Application

The permit process begins with submittal of a completed permit application form. Information such as property owner, address and cost of construction is required on the application. The following plan submittals are also required.

- Two copies of a plat of survey or a site plan drawn to scale with accurate dimensions, showing:
 - The locations and dimensions of the deck or porch.
 - The distance of the existing residence and the proposed deck or porch from the lot lines.
 - The location of any easements on the property, and the location of any underground or above ground utilities.
 - Two copies of deck or porch pier and framing details.

Once the application and plans are received they are then sent for review. Every effort is made to review plan submittals within seven (7) working days. The permit applicant will be contacted if any additional information is needed or any corrections need to be done.

Permit fees are paid at the time the permit is issued.

Permit fee: Decks and porches \$100.00

(Note: if electrical work is to be preformed, a \$80.00 electrical fee will be required.)

SETBACKS

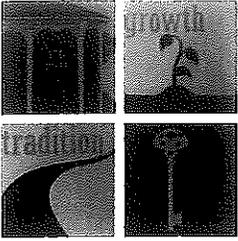
- An open, unenclosed, or uncovered deck or porch must use the same setbacks as an accessory structure: 7 feet from side lot lines and 10 feet from rear property lot lines.
- Decks attached to a swimming pool must be 10 feet away from the primary structure, 10 feet away from side and rear property lines.

Plan review comments

The following information is required as part of the required building plan submittal.

- The type and depth of piers.

- The minimum depth is forty-two inches (42”).
 - Piers must be sized to carry superimposed loads.
 - If a screen room is to be constructed at any time in the future, piers may have to be larger or spaced closer together.
 - Holes must be ten (10) inches wide, and must be inspected and approved prior to pouring concrete.
- The exterior finish of the principal structure (brick, stucco, siding, etc.).
 - If the deck or porch is attached to the principal structure, the method of attachment must be provided.
 - Joist hangers must be installed only with the use of approved joist hanger nails.
- The overall dimensions (height, depth, and width) of the deck or porch.
- Information regarding post and beam locations and dimensions.
 - The beam span between posts and the clear span of joist shall also be included.
- Nominal lumber sizes of all joists, and type and direction of decking.
- Location of basement window wells. Basement escape windows cannot be covered or blocked, unless the location of the deck or porch allows the emergency escape window to be fully opened and provides a path not less than thirty-six inches (36”) in height to yard or court.
- Height above grade. Guard rails are required on all decks and porches thirty (30”) or more above grade.
- Stair details, including width tread depth, and riser height.
 - Stairways shall not be less than three feet (3’) wide.
 - The minimum clear tread depth is ten inches (10”) and the maximum riser height is seven and three-quarter inches (7 and $\frac{3}{4}$ ”).
- Hand rail and guard rail details.
 - The minimum height of stair handrail is thirty-four inches (34”) and the maximum height is thirty-eight inches (38”).
 - Guard rails are required when a deck floor is more than thirty inches (30”) above the adjacent grade.



- Guard rails shall be a minimum of thirty-six inches (36") high with a maximum spacing between balusters or vertical posts of four inches (4") so that an object four inches (4") or larger cannot pass through them.
Guard rails shall not be installed in a manner that created a ladder-like effect.

SCREEN ROOMS AND THREE SEASON ROOMS

A screen room or three season room has different setback requirements than a tropical deck or porch. Be sure to verify that any deck or porch will be located structurally designed and sized to accommodate any future plans you may have to convert it to a screen room or three seasons room.

REQUIRED INSPECTIONS

Inspections should be scheduled at least 24 hours in advance by calling The City of Woodstock Building Department at 815-338-4305. You will need to provide them with the address of the inspection, and date and time when the inspection is needed.

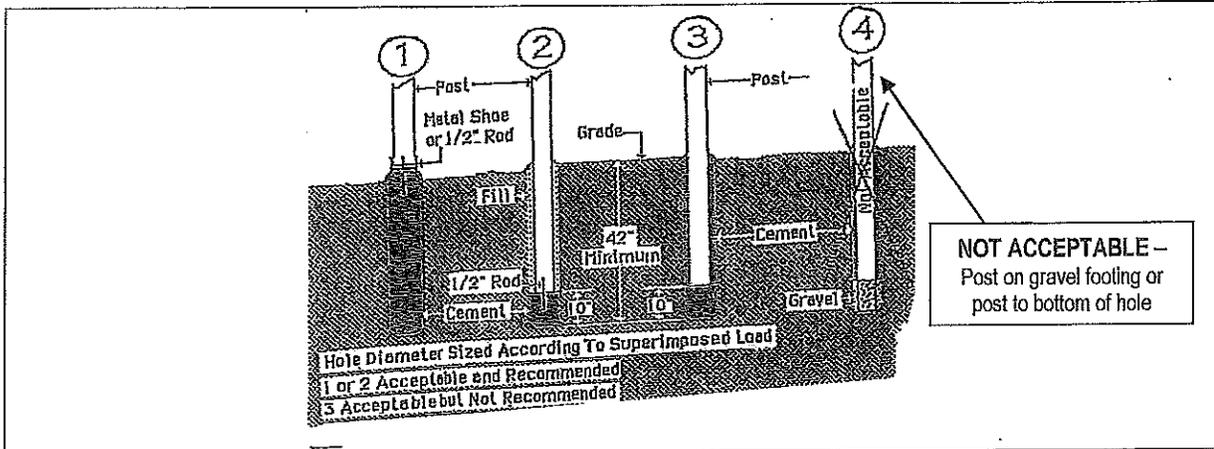
Two (2) inspections are required:

- Pier or footing inspection, after the holes are dug, but prior to pouring concrete.
- Final inspection, after the deck or porch is completed. However, the final inspection should be completed prior to the installation of any proposed skirting or screening.

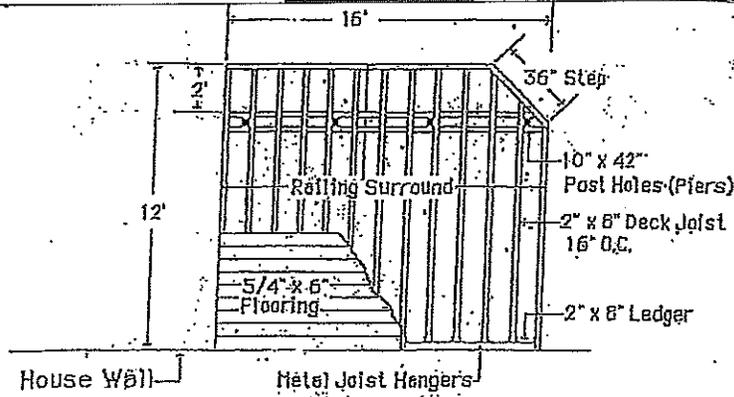
UTILITY LOCATIONS

Contact J.U.L.I.E. in order to determine the location of any underground utilities and before you dig on your property. You should call J.U.L.I.E. at 811 (except on Saturdays, Sundays, and holidays) at least 48 hours before you do any digging.

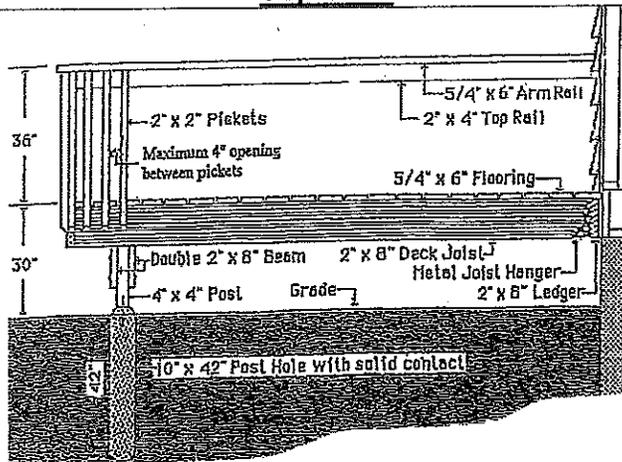
This is an example of the type of information typically needed for issuance of a building permit.



Footing View



Top View



Side View

